



November 2019

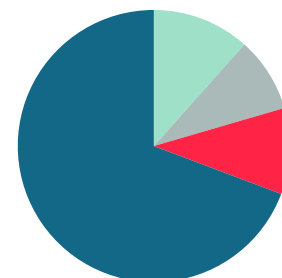
Area Delimited by School District Bixby - Sch Dist (4)



MONTHLY INVENTORY ANALYSIS

Report produced on Dec 11, 2019 for MLS Technology Inc.

Compared Metrics	November		
	2018	2019	+/-%
Closed Listings	63	86	36.51%
Pending Listings	56	66	17.86%
New Listings	132	113	-14.39%
Average List Price	215,386	270,419	25.55%
Average Sale Price	211,365	264,908	25.33%
Average Percent of Selling Price to List Price	98.65%	97.84%	-0.81%
Average Days on Market to Sale	43.17	48.71	12.82%
End of Month Inventory	657	514	-21.77%
Months Supply of Inventory	6.92	5.53	-20.08%



■ Closed (11.59%)
■ Pending (8.89%)
■ Other OffMarket (10.24%)
■ Active (69.27%)

Absorption: Last 12 months, an Average of **93** Sales/Month
Active Inventory as of November 30, 2019 = **514**

Analysis Wrap-Up

Months Supply of Inventory (MSI) Decreases

The total housing inventory at the end of November 2019 decreased **21.77%** to 514 existing homes available for sale. Over the last 12 months this area has had an average of 93 closed sales per month. This represents an unsold inventory index of **5.53** MSI for this period.

Average Sale Price Going Up

According to the preliminary trends, this market area has experienced some upward momentum with the increase of Average Price this month. Prices went up **25.33%** in November 2019 to \$264,908 versus the previous year at \$211,365.

Average Days on Market Lengthens

The average number of **48.71** days that homes spent on the market before selling increased by 5.53 days or **12.82%** in November 2019 compared to last year's same month at **43.17** DOM.

Sales Success for November 2019 is Positive

Overall, with Average Prices going up and Days on Market increasing, the Listed versus Closed Ratio finished strong this month.

There were 113 New Listings in November 2019, down **14.39%** from last year at 132. Furthermore, there were 86 Closed Listings this month versus last year at 63, a **36.51%** increase.

Closed versus Listed trends yielded a **76.1%** ratio, up from previous year's, November 2018, at **47.7%**, a **59.46%** upswing. This will certainly create pressure on a decreasing Month's Supply of Inventory (MSI) in the months to come.

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Real Estate is Local

Consumers Should Consult with a REALTOR®

Buying or selling real estate, for a majority of consumers, is one of the most important decisions they will make. Choosing a real estate professional continues to be a vital part of this process.

Identify a Professional to Manage the Procedure

REALTORS® are well-informed about critical factors that affect your specific market area - such as changes in market conditions, consumer attitudes and interest rates.

Are You Ready to Buy or Sell Real Estate?

Contact an experienced REALTOR®

MLS Technology Inc. -

Phone: 918-663-7500

Email: support@mlstechnology.com



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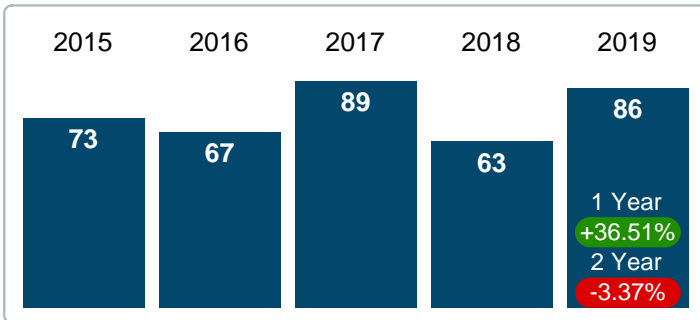
Area Delimited by School District Bixby - Sch Dist (4)



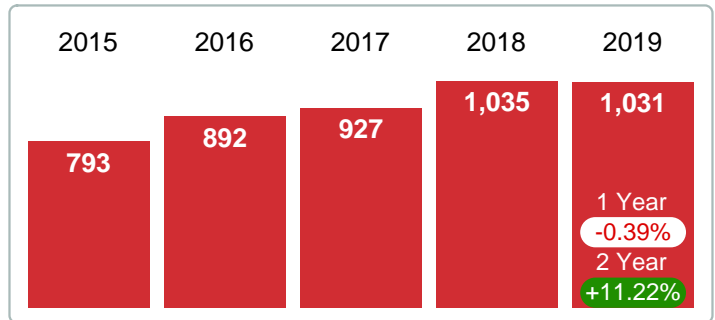
CLOSED LISTINGS

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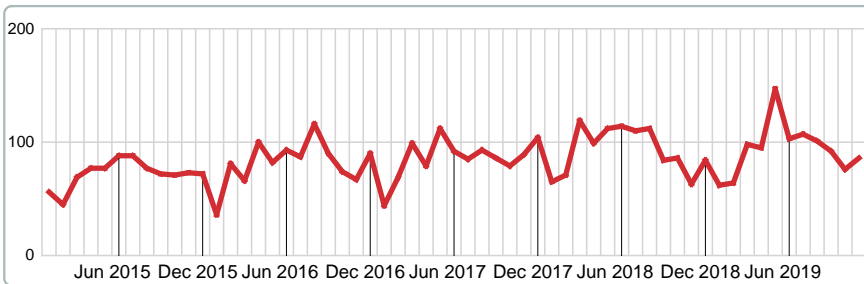
NOVEMBER



YEAR TO DATE (YTD)

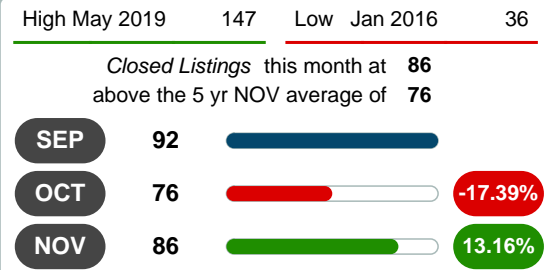


5 YEAR MARKET ACTIVITY TRENDS



3 MONTHS

5 year NOV AVG = 76



CLOSED LISTINGS & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Closed Listings by Price Range		%	AVDOM	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$25,000 and less	8	9.30%	42.6	0	6	2	0
\$25,001 - \$150,000	11	12.79%	43.7	6	5	0	0
\$150,001 - \$200,000	8	9.30%	38.5	0	5	3	0
\$200,001 - \$325,000	24	27.91%	52.0	3	12	9	0
\$325,001 - \$375,000	15	17.44%	44.5	1	3	11	0
\$375,001 - \$400,000	10	11.63%	39.9	0	0	8	2
\$400,001 and up	10	11.63%	74.3	0	0	6	4
Total Closed Units	86			10	31	39	6
Total Closed Volume	22,782,099	100%	48.7	1.37M	5.65M	13.06M	2.70M
Average Closed Price	\$264,908			\$136,690	\$182,389	\$334,901	\$450,000

November 2019



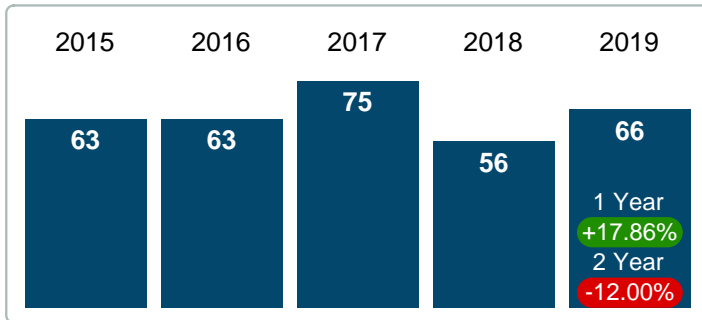
Area Delimited by School District Bixby - Sch Dist (4)



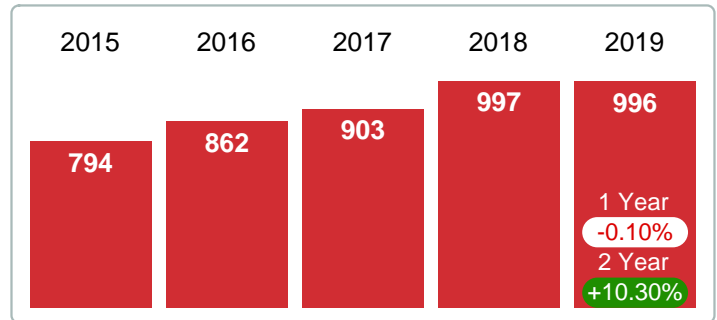
PENDING LISTINGS

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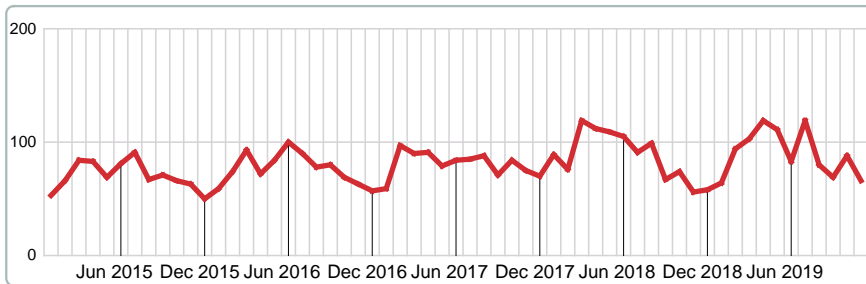
NOVEMBER



YEAR TO DATE (YTD)

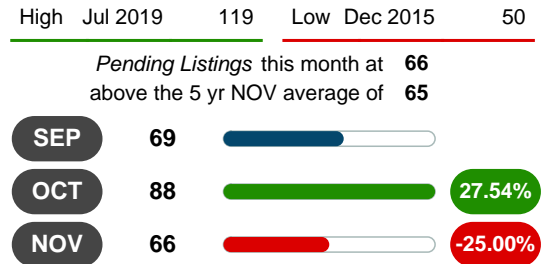


5 YEAR MARKET ACTIVITY TRENDS



3 MONTHS

5 year NOV AVG = 65



PENDING LISTINGS & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Pending Listings by Price Range		%	AVDOM	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$75,000 and less	6	9.09%	40.2	2	2	2	0
\$75,001 - \$175,000	8	12.12%	29.0	2	4	1	1
\$175,001 - \$250,000	8	12.12%	35.9	0	6	2	0
\$250,001 - \$350,000	20	30.30%	53.2	2	9	8	1
\$350,001 - \$400,000	11	16.67%	83.5	0	2	8	1
\$400,001 - \$475,000	6	9.09%	91.3	1	0	1	4
\$475,001 and up	7	10.61%	65.6	1	2	2	2
Total Pending Units	66			8	25	24	9
Total Pending Volume	20,477,947	100%	41.5	2.01M	7.14M	7.60M	3.72M
Average Listing Price	\$255,687			\$251,500	\$285,603	\$316,741	\$413,789



November 2019

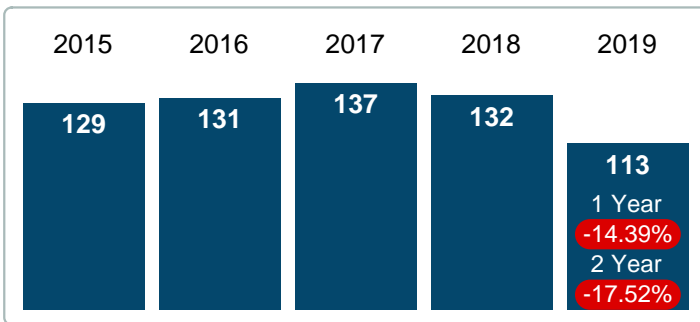
Area Delimited by School District Bixby - Sch Dist (4)



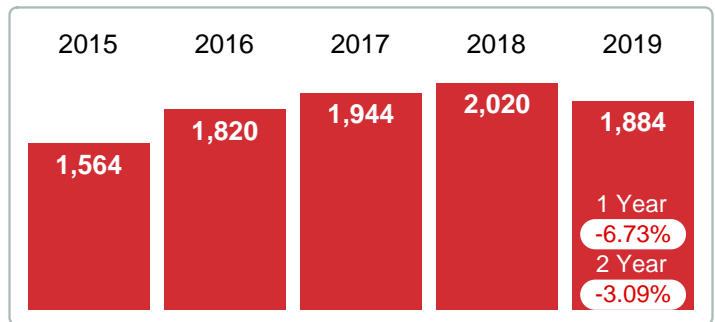
NEW LISTINGS

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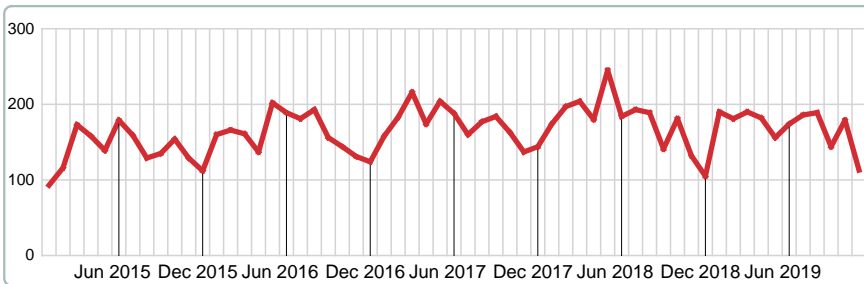
NOVEMBER



YEAR TO DATE (YTD)

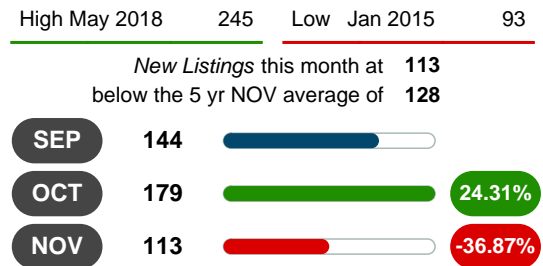


5 YEAR MARKET ACTIVITY TRENDS



3 MONTHS

5 year NOV AVG = 128



NEW LISTINGS & BEDROOMS DISTRIBUTION BY PRICE

Distribution of New Listings by Price Range		%	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$50,000 and less	11	9.73%	4	4	3	0
\$50,001 - \$175,000	11	9.73%	4	6	1	0
\$175,001 - \$275,000	21	18.58%	2	13	6	0
\$275,001 - \$375,000	16	14.16%	1	5	9	1
\$375,001 - \$500,000	30	26.55%	1	1	20	8
\$500,001 - \$700,000	12	10.62%	2	0	9	1
\$700,001 and up	12	10.62%	2	1	1	8
Total New Listed Units	113		16	30	49	18
Total New Listed Volume	47,239,368	100%	8.72M	6.99M	19.01M	12.52M
Average New Listed Listing Price	\$232,205		\$545,000	\$233,063	\$387,877	\$695,639

November 2019



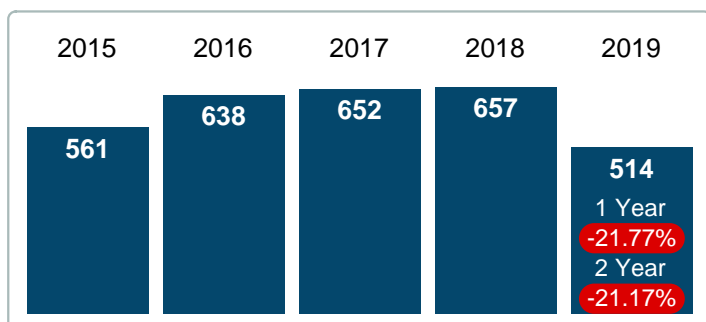
Area Delimited by School District Bixby - Sch Dist (4)



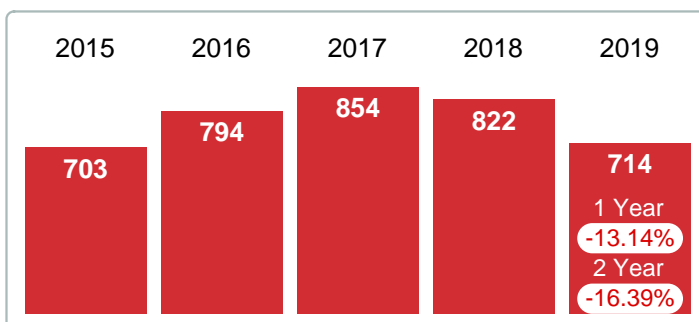
ACTIVE INVENTORY

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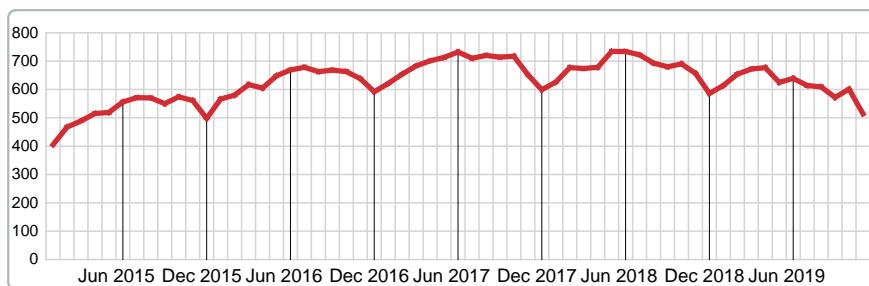
END OF NOVEMBER



ACTIVE DURING NOVEMBER



5 YEAR MARKET ACTIVITY TRENDS

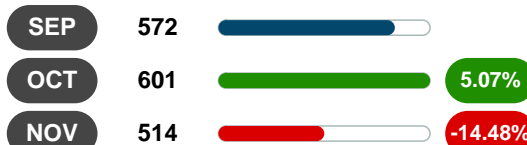


3 MONTHS

5 year NOV AVG = 604

High Jun 2018 734 Low Jan 2015 405

Inventory this month at 514
below the 5 yr NOV average of 604



INVENTORY & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Inventory by Price Range		%	AVDOM	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$100,000 and less	50	9.73%	88.0	32	6	11	1
\$100,001 - \$175,000	58	11.28%	92.1	40	16	2	0
\$175,001 - \$275,000	83	16.15%	75.7	21	36	24	2
\$275,001 - \$375,000	103	20.04%	78.2	13	28	50	12
\$375,001 - \$500,000	104	20.23%	66.9	8	12	59	25
\$500,001 - \$725,000	60	11.67%	81.4	6	2	35	17
\$725,001 and up	56	10.89%	87.1	16	0	15	25
Total Active Inventory by Units	514			136	100	196	82
Total Active Inventory by Volume	232,101,315	100%	79.4	70.18M	25.56M	84.98M	51.38M
Average Active Inventory Listing Price	\$451,559			\$516,010	\$255,623	\$433,568	\$626,614

November 2019



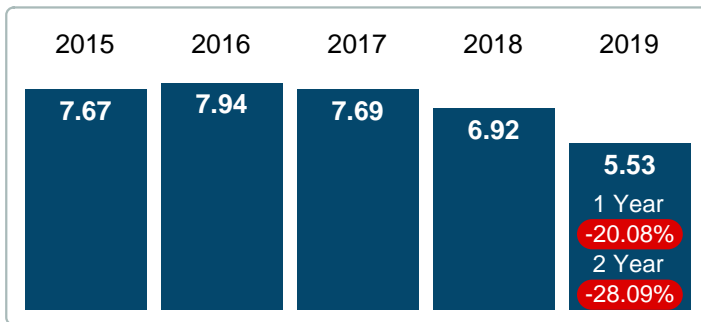
Area Delimited by School District Bixby - Sch Dist (4)



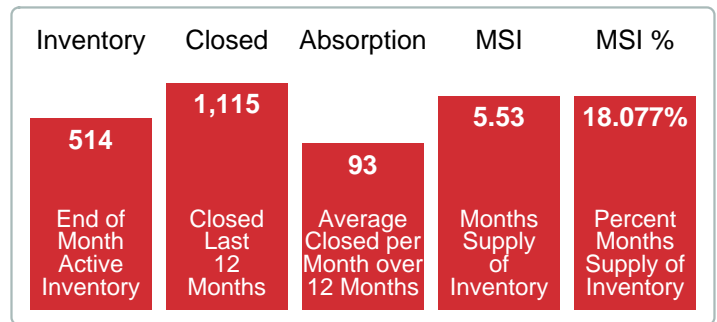
MONTHS SUPPLY of INVENTORY (MSI)

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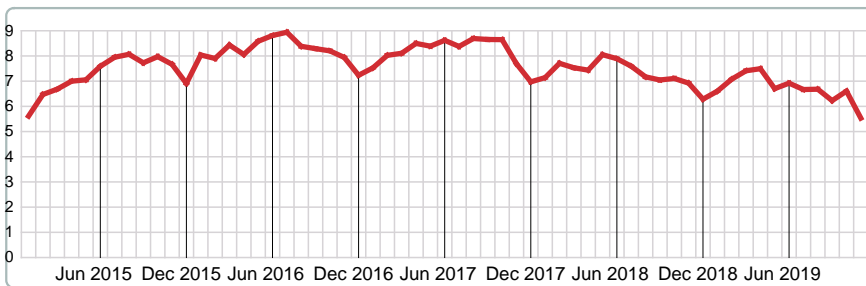
MSI FOR NOVEMBER



INDICATORS FOR NOVEMBER 2019

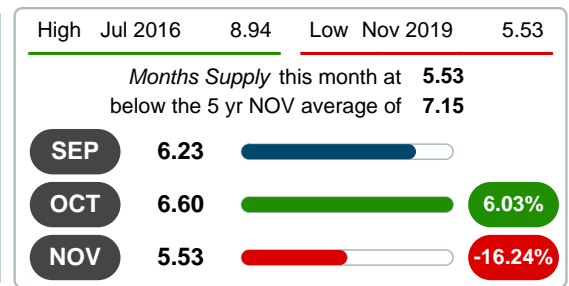


5 YEAR MARKET ACTIVITY TRENDS



3 MONTHS

5 year NOV AVG = 7.15



MONTHS SUPPLY & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Active Inventory by Price Range and MSI		%	MSI	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$100,000 and less	50	9.73%	3.19	5.12	0.95	4.71	1.33
\$100,001 - \$175,000	58	11.28%	5.19	43.64	1.71	2.18	0.00
\$175,001 - \$275,000	83	16.15%	3.03	14.00	2.57	2.07	6.00
\$275,001 - \$375,000	103	20.04%	4.63	52.00	4.54	3.68	5.33
\$375,001 - \$500,000	104	20.23%	9.75	48.00	8.00	8.63	11.54
\$500,001 - \$725,000	60	11.67%	13.85	18.00	24.00	18.26	8.50
\$725,001 and up	56	10.89%	39.53	64.00	0.00	22.50	60.00
Market Supply of Inventory (MSI)			5.53	14.07	2.67	5.18	10.36
Total Active Inventory by Units		100%	514	136	100	196	82

November 2019



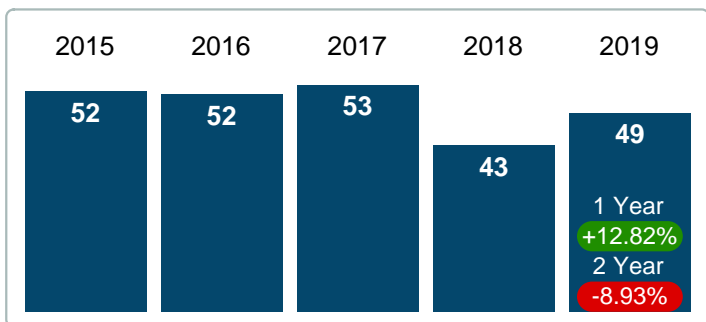
Area Delimited by School District Bixby - Sch Dist (4)



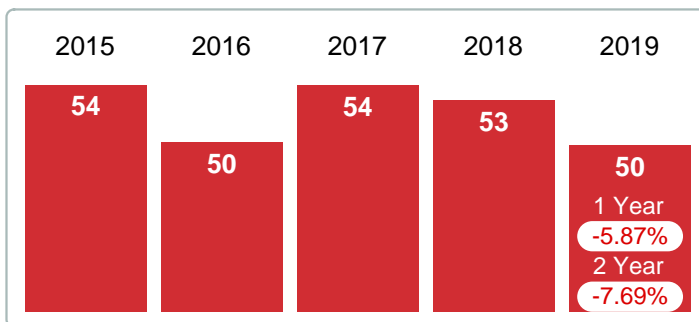
AVERAGE DAYS ON MARKET TO SALE

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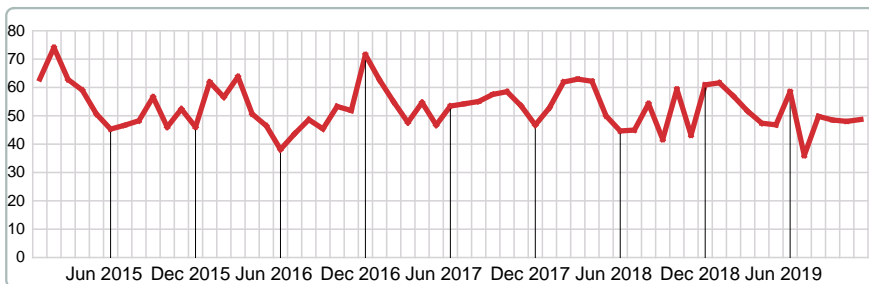
NOVEMBER



YEAR TO DATE (YTD)



5 YEAR MARKET ACTIVITY TRENDS



3 MONTHS

5 year NOV AVG = 50

High Feb 2015 74 Low Jul 2019 36

Average Days on Market to Sale this month at 49 below the 5 yr NOV average of 50



AVERAGE DOM OF CLOSED SALES & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Average Days on Market to Sale by Price Range	%	AVDOM	1-2 Beds	3 Beds	4 Beds	5+ Beds		
\$25,000 and less	8	9.30%	43	0	46	34	0	
\$25,001 - \$150,000	11	12.79%	44	42	46	0	0	
\$150,001 - \$200,000	8	9.30%	39	0	42	33	0	
\$200,001 - \$325,000	24	27.91%	52	56	54	48	0	
\$325,001 - \$375,000	15	17.44%	45	1	1	60	0	
\$375,001 - \$400,000	10	11.63%	40	0	0	40	41	
\$400,001 and up	10	11.63%	74	0	0	62	93	
Average Closed DOM		49		42	44	50	76	
Total Closed Units		86	100%	49	10	31	39	6
Total Closed Volume		22,782,099		1.37M	5.65M	13.06M	2.70M	

November 2019



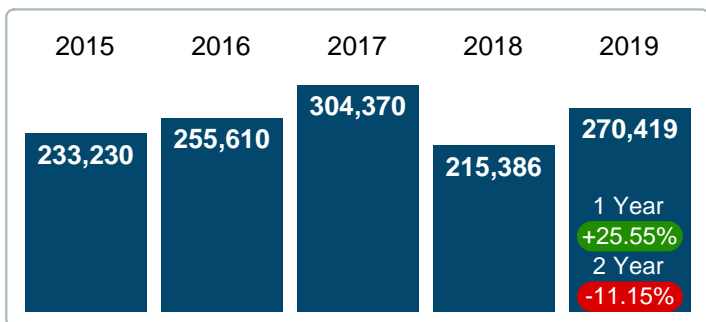
Area Delimited by School District Bixby - Sch Dist (4)



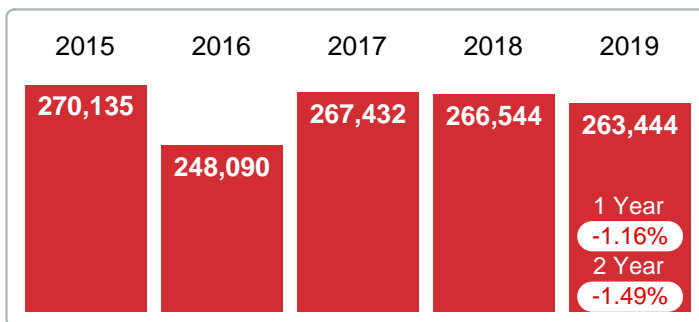
AVERAGE LIST PRICE AT CLOSING

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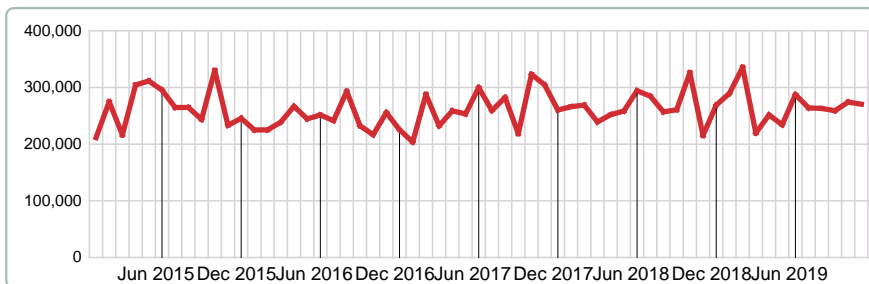
NOVEMBER



YEAR TO DATE (YTD)



5 YEAR MARKET ACTIVITY TRENDS

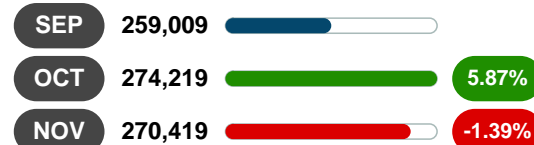


3 MONTHS

5 year NOV AVG = 255,803

High Feb 2019 335,502 Low Jan 2017 203,731

Average List Price at Closing this month at **270,419** above the 5 yr NOV average of **255,803**



AVERAGE LIST PRICE OF CLOSED SALES & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Average List Price at Closing by Price Range		%	AVLPrice	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$25,000 and less	8	9.30%	1,313	0	1,280	1,410	0
\$25,001 - \$150,000	11	12.79%	88,082	55,733	126,900	0	0
\$150,001 - \$200,000	8	9.30%	177,825	0	173,760	184,600	0
\$200,001 - \$325,000	22	25.58%	257,052	266,633	262,953	261,967	0
\$325,001 - \$375,000	17	19.77%	356,937	366,440	352,009	364,406	0
\$375,001 - \$400,000	10	11.63%	388,000	0	0	393,138	384,950
\$400,001 and up	10	11.63%	525,096	0	0	524,361	512,225
Average List Price			270,419	150,074	184,595	338,822	469,800
Total Closed Units		100%	270,419	10	31	39	6
Total Closed Volume			23,256,038	1.50M	5.72M	13.21M	2.82M



November 2019

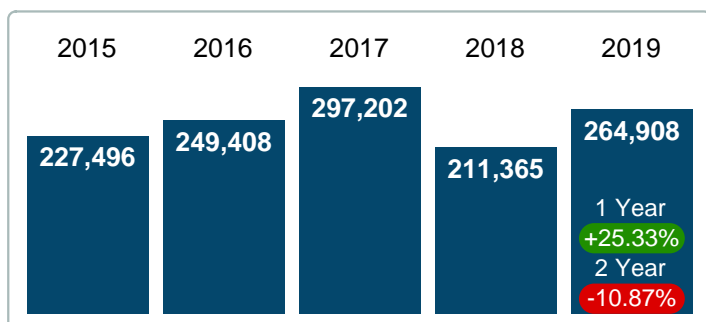
Area Delimited by School District Bixby - Sch Dist (4)



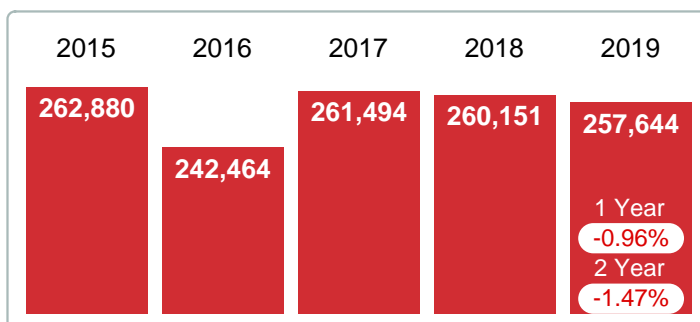
AVERAGE SOLD PRICE AT CLOSING

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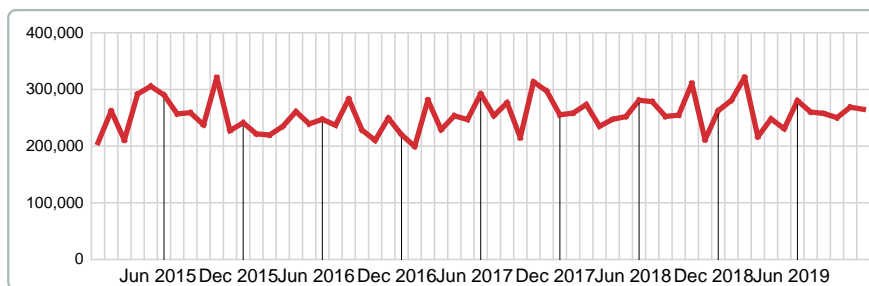
NOVEMBER



YEAR TO DATE (YTD)



5 YEAR MARKET ACTIVITY TRENDS



3 MONTHS

5 year NOV AVG = 250,076

High Feb 2019 321,280 Low Jan 2017 199,452

Average Sold Price at Closing this month at **264,908**
above the 5 yr NOV average of **250,076**

SEP	250,191	
OCT	268,664	7.38%
NOV	264,908	-1.40%

AVERAGE SOLD PRICE OF CLOSED SALES & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Average Sold Price at Closing by Price Range	%	AV Sale	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$25,000 and less	9.30%	1,317	0	1,286	1,410	0
\$25,001 - \$150,000	12.79%	84,864	50,583	126,000	0	0
\$150,001 - \$200,000	9.30%	177,444	0	172,150	186,267	0
\$200,001 - \$325,000	27.91%	256,367	230,000	258,380	262,472	0
\$325,001 - \$375,000	17.44%	358,602	373,403	351,675	359,145	0
\$375,001 - \$400,000	11.63%	384,158	0	0	384,072	384,500
\$400,001 and up	11.63%	504,510	0	0	519,017	482,750
Average Sold Price		264,908	136,690	182,389	334,901	450,000
Total Closed Units	100%	264,908	10	31	39	6
Total Closed Volume		22,782,099	1.37M	5.65M	13.06M	2.70M

November 2019



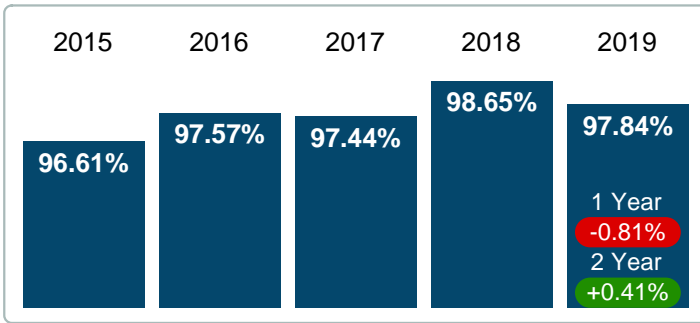
Area Delimited by School District Bixby - Sch Dist (4)



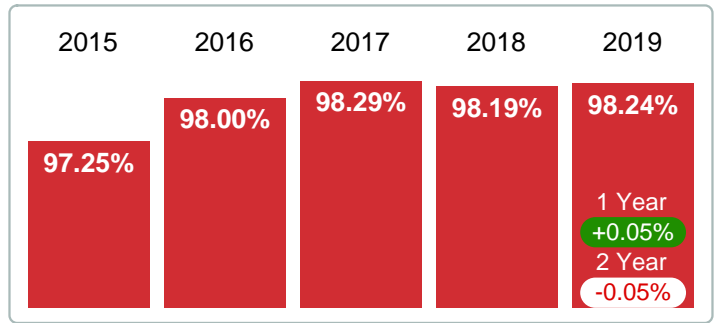
AVERAGE PERCENT OF SELLING PRICE TO LISTING PRICE

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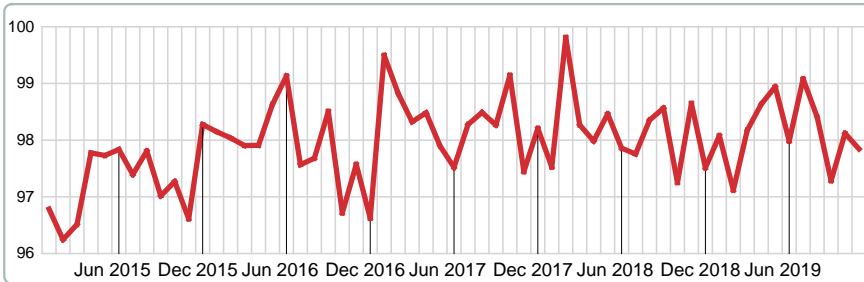
NOVEMBER



YEAR TO DATE (YTD)



5 YEAR MARKET ACTIVITY TRENDS

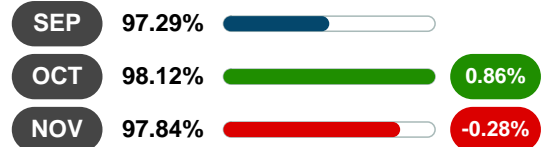


3 MONTHS

5 year NOV AVG = 97.62%

High Feb 2018 99.81% Low Feb 2015 96.25%

Average Sold/List Ratio this month at **97.84%**
equal to 5 yr NOV average of **97.62%**



AVERAGE SOLD/LIST RATIO OF CLOSED SALES & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Sold/List Ratio by Price Range		%	AV S/L%	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$25,000 and less	8	9.30%	100.34%	0.00%	100.45%	100.00%	0.00%
\$25,001 - \$150,000	11	12.79%	92.61%	87.32%	98.95%	0.00%	0.00%
\$150,001 - \$200,000	8	9.30%	99.83%	0.00%	99.22%	100.85%	0.00%
\$200,001 - \$325,000	24	27.91%	97.80%	86.79%	98.30%	100.82%	0.00%
\$325,001 - \$375,000	15	17.44%	99.07%	101.90%	99.90%	98.58%	0.00%
\$375,001 - \$400,000	10	11.63%	98.17%	0.00%	0.00%	97.74%	99.88%
\$400,001 and up	10	11.63%	97.96%	0.00%	0.00%	100.19%	94.61%
Average Sold/List Ratio		97.80%		88.62%	99.12%	99.42%	96.37%
Total Closed Units		86	100%	10	31	39	6
Total Closed Volume		22,782,099		1.37M	5.65M	13.06M	2.70M



November 2019

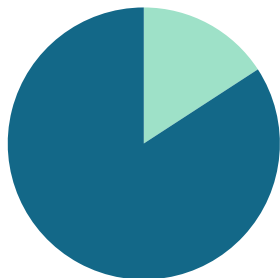
Area Delimited by School District Bixby - Sch Dist (4)



MARKET SUMMARY

Report produced on Dec 11, 2019 for MLS Technology Inc.

INVENTORY

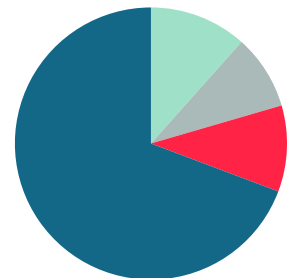


Inventory
 New Listings
113 = 15.83%
 Start Inventory
601
 Total Inventory Units
714
 Volume
\$303,092,815

Market Activity

Closed Sales
86 = 11.59%
 Pending Sales
66 = 8.89%
 Other Off Market
76 = 10.24%
 Active Inventory
514 = 69.27%

MARKET ACTIVITY



Compared Metrics	November			Year to Date		
	2018	2019	+/-%	2018	2019	+/-%
Closed Sales	63	86	36.51%	1,035	1,031	-0.39%
Pending Sales	56	66	17.86%	997	996	-0.10%
New Listings	132	113	-14.39%	2,020	1,884	-6.73%
Average List Price	215,386	270,419	25.55%	266,544	263,444	-1.16%
Average Sale Price	211,365	264,908	25.33%	260,151	257,644	-0.96%
Average Percent of Selling Price to List Price	98.65%	97.84%	-0.81%	98.19%	98.24%	0.05%
Average Days on Market to Sale	43.17	48.71	12.82%	52.67	49.58	-5.87%
Monthly Inventory	657	514	-21.77%	657	514	-21.77%
Months Supply of Inventory	6.92	5.53	-20.08%	6.92	5.53	-20.08%

Absorption: Last 12 months, an Average of **93** Sales/Month

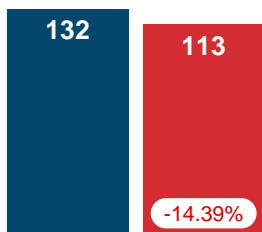
Inventory on November 30, 2019 = **514**

2018 **2019**

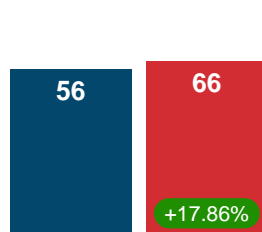
NOVEMBER MARKET

AVERAGE PRICES

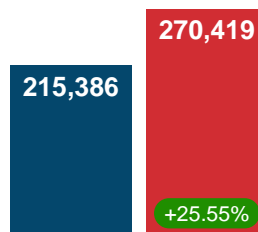
New Listings



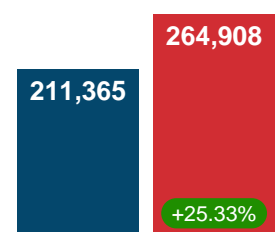
Pending Listings



List Price



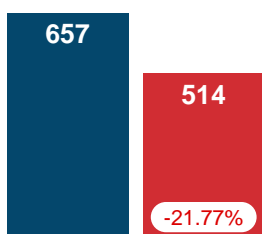
Sale Price



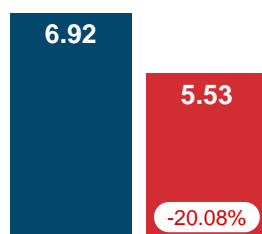
INVENTORY

AVERAGE SOLD/LIST RATIO & DOM

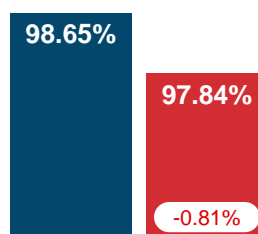
Active Inventory



Monthly Supply of Inventory



Sale/List Ratio



Days on Market

