



# November 2019

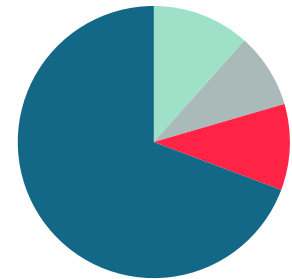
Area Delimited by School District Bixby - Sch Dist (4)



## MONTHLY INVENTORY ANALYSIS

Report produced on Dec 11, 2019 for MLS Technology Inc.

Compared Metrics	2018	November 2019	+/-%
Closed Listings	63	86	36.51%
Pending Listings	56	66	17.86%
New Listings	132	113	-14.39%
Median List Price	209,999	284,650	35.55%
Median Sale Price	210,000	279,875	33.27%
Median Percent of Selling Price to List Price	100.00%	100.00%	0.00%
Median Days on Market to Sale	26.00	35.50	36.54%
End of Month Inventory	657	514	-21.77%
Months Supply of Inventory	6.92	5.53	-20.08%



■ Closed (11.59%)  
■ Pending (8.89%)  
■ Other OffMarket (10.24%)  
■ Active (69.27%)

**Absorption:** Last 12 months, an Average of **93** Sales/Month  
**Active Inventory** as of November 30, 2019 = **514**

### Analysis Wrap-Up

#### Months Supply of Inventory (MSI) Decreases

The total housing inventory at the end of November 2019 decreased **21.77%** to 514 existing homes available for sale. Over the last 12 months this area has had an average of 93 closed sales per month. This represents an unsold inventory index of **5.53** MSI for this period.

#### Median Sale Price Going Up

According to the preliminary trends, this market area has experienced some upward momentum with the increase of Median Price this month. Prices went up **33.27%** in November 2019 to \$279,875 versus the previous year at \$210,000.

#### Median Days on Market Lengthens

The median number of **35.50** days that homes spent on the market before selling increased by 9.50 days or **36.54%** in November 2019 compared to last year's same month at **26.00** DOM.

#### Sales Success for November 2019 is Positive

Overall, with Median Prices going up and Days on Market increasing, the Listed versus Closed Ratio finished strong this month.

There were 113 New Listings in November 2019, down **14.39%** from last year at 132. Furthermore, there were 86 Closed Listings this month versus last year at 63, a **36.51%** increase.

Closed versus Listed trends yielded a **76.1%** ratio, up from previous year's, November 2018, at **47.7%**, a **59.46%** upswing. This will certainly create pressure on a decreasing Month's Supply of Inventory (MSI) in the months to come.

### What's in this Issue

<b>Closed Listings</b>	<b>1</b>
<b>Pending Listings</b>	<b>2</b>
<b>New Listings</b>	<b>3</b>
<b>Inventory</b>	<b>4</b>
<b>Months Supply of Inventory</b>	<b>5</b>
<b>Median Days on Market to Sale</b>	<b>6</b>
<b>Median List Price at Closing</b>	<b>7</b>
<b>Median Sale Price at Closing</b>	<b>8</b>
<b>Median Percent of Selling Price to List Price</b>	<b>9</b>
<b>Market Summary</b>	<b>10</b>

### Real Estate is Local

#### Consumers Should Consult with a REALTOR®

Buying or selling real estate, for a majority of consumers, is one of the most important decisions they will make. Choosing a real estate professional continues to be a vital part of this process.

#### Identify a Professional to Manage the Procedure

REALTORS® are well-informed about critical factors that affect your specific market area - such as changes in market conditions, consumer attitudes and interest rates.

#### Are You Ready to Buy or Sell Real Estate?

Contact an experienced REALTOR®

**MLS Technology Inc. -**

**Phone:** 918-663-7500

**Email:** support@mlstechnology.com



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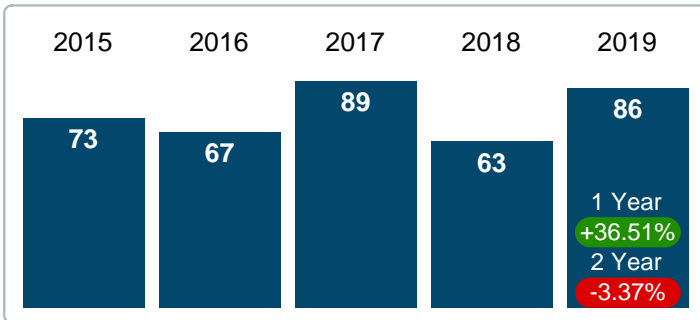
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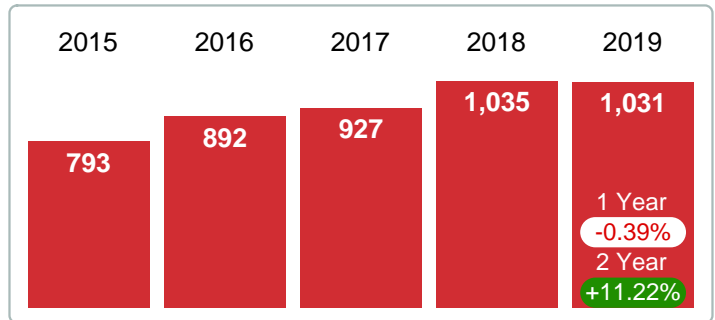
## CLOSED LISTINGS

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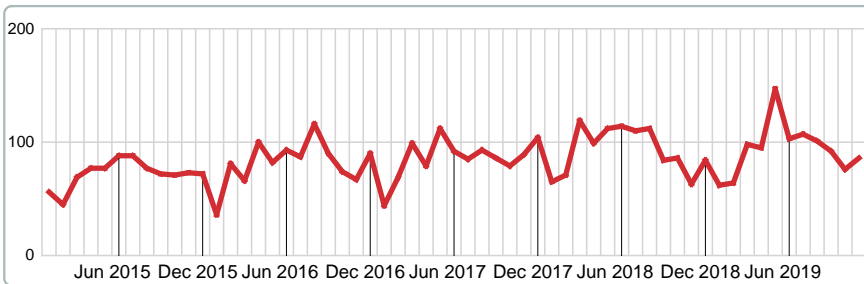
### NOVEMBER



### YEAR TO DATE (YTD)

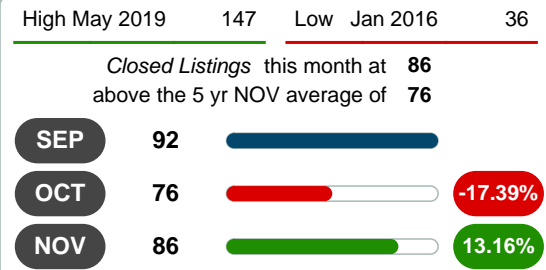


### 5 YEAR MARKET ACTIVITY TRENDS



### 3 MONTHS

5 year NOV AVG = 76



### CLOSED LISTINGS & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Closed Listings by Price Range		%	MDOM	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$25,000 and less	8	9.30%	29.0	0	6	2	0
\$25,001 - \$150,000	11	12.79%	18.0	6	5	0	0
\$150,001 - \$200,000	8	9.30%	31.0	0	5	3	0
\$200,001 - \$325,000	24	27.91%	37.0	3	12	9	0
\$325,001 - \$375,000	15	17.44%	21.0	1	3	11	0
\$375,001 - \$400,000	10	11.63%	27.0	0	0	8	2
\$400,001 and up	10	11.63%	80.5	0	0	6	4
<b>Total Closed Units</b>	<b>86</b>			<b>10</b>	<b>31</b>	<b>39</b>	<b>6</b>
<b>Total Closed Volume</b>	<b>22,782,099</b>	<b>100%</b>	<b>35.5</b>	<b>1.37M</b>	<b>5.65M</b>	<b>13.06M</b>	<b>2.70M</b>
<b>Median Closed Price</b>	<b>\$279,875</b>			<b>\$74,500</b>	<b>\$192,000</b>	<b>\$360,000</b>	<b>\$434,000</b>



# November 2019

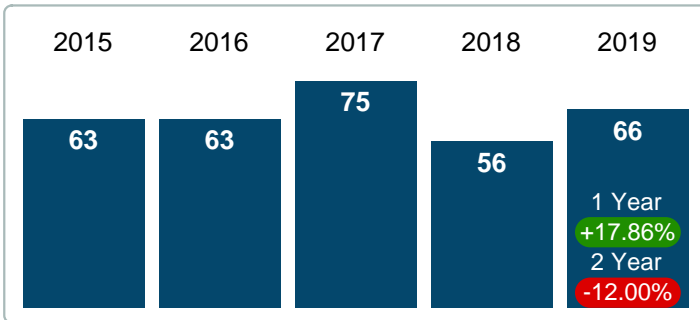
Area Delimited by School District Bixby - Sch Dist (4)



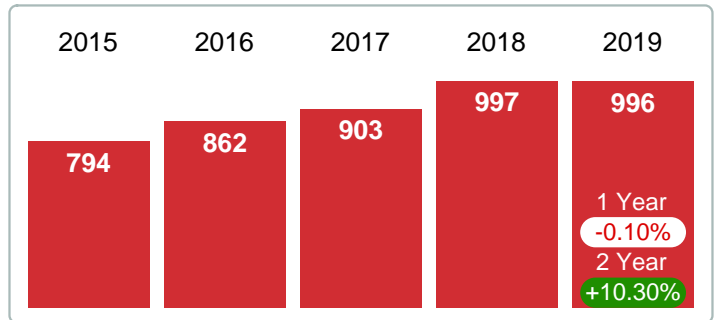
## PENDING LISTINGS

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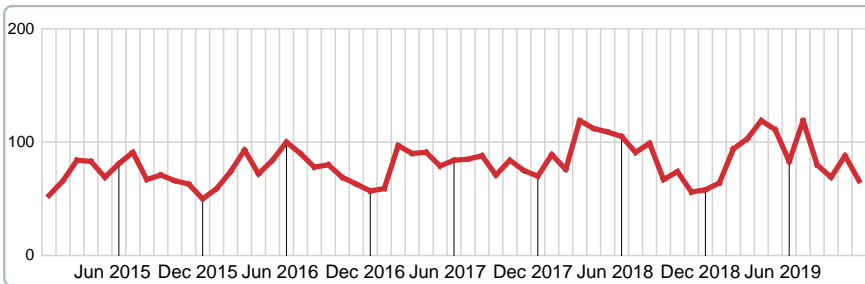
### NOVEMBER



### YEAR TO DATE (YTD)

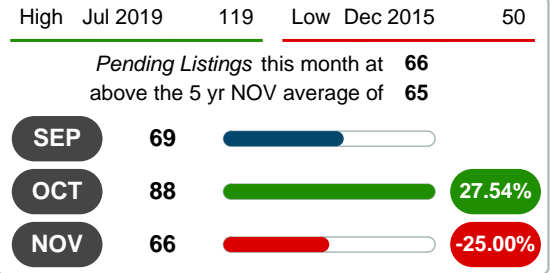


### 5 YEAR MARKET ACTIVITY TRENDS



### 3 MONTHS

5 year NOV AVG = 65



### PENDING LISTINGS & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Pending Listings by Price Range		%	MDOM	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$75,000 and less	6	9.09%	17.5	2	2	2	0
\$75,001 - \$175,000	8	12.12%	16.5	2	4	1	1
\$175,001 - \$250,000	8	12.12%	9.0	0	6	2	0
\$250,001 - \$350,000	20	30.30%	44.0	2	9	8	1
\$350,001 - \$400,000	11	16.67%	81.0	0	2	8	1
\$400,001 - \$475,000	6	9.09%	88.5	1	0	1	4
\$475,001 and up	7	10.61%	84.0	1	2	2	2
<b>Total Pending Units</b>	<b>66</b>			<b>8</b>	<b>25</b>	<b>24</b>	<b>9</b>
<b>Total Pending Volume</b>	<b>20,477,947</b>	<b>100%</b>	<b>41.0</b>	<b>2.01M</b>	<b>7.14M</b>	<b>7.60M</b>	<b>3.72M</b>
<b>Median Listing Price</b>	<b>\$307,450</b>			<b>\$192,750</b>	<b>\$257,837</b>	<b>\$342,536</b>	<b>\$439,900</b>



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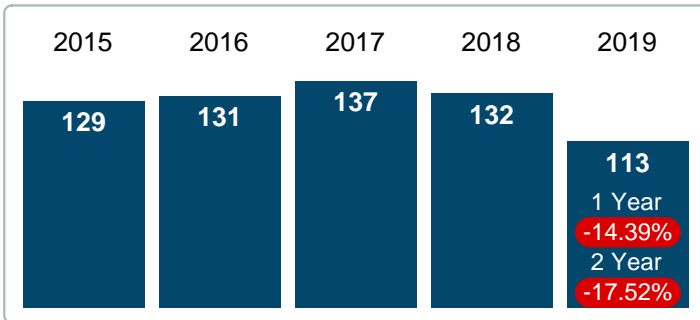
Area Delimited by School District Bixby - Sch Dist (4)



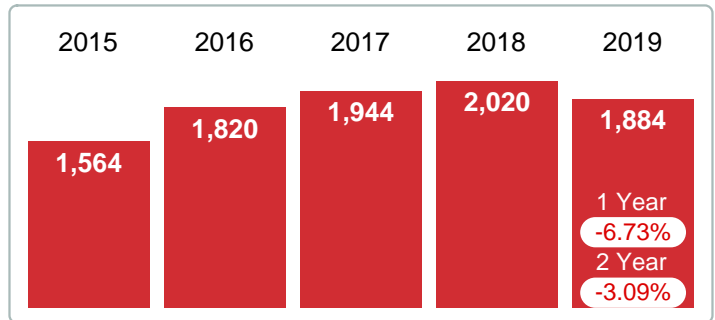
## NEW LISTINGS

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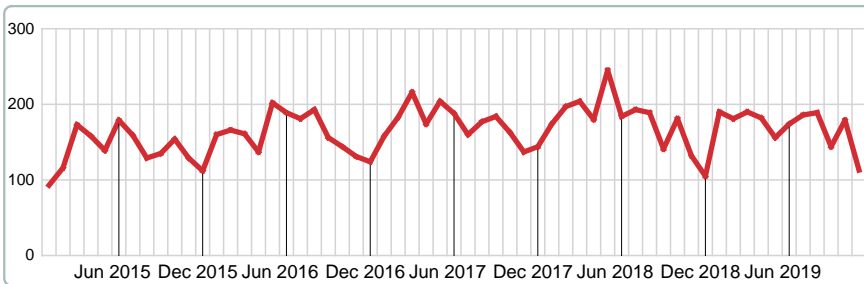
### NOVEMBER



### YEAR TO DATE (YTD)



### 5 YEAR MARKET ACTIVITY TRENDS

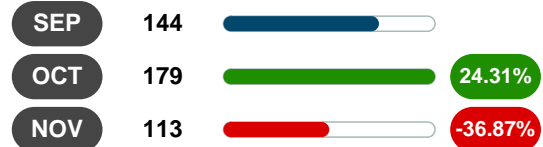


### 3 MONTHS

5 year NOV AVG = 128

High May 2018 245 Low Jan 2015 93

New Listings this month at 113  
below the 5 yr NOV average of 128



### NEW LISTINGS & BEDROOMS DISTRIBUTION BY PRICE

Distribution of New Listings by Price Range		%	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$50,000 and less	11	9.73%	4	4	3	0
\$50,001 - \$175,000	11	9.73%	4	6	1	0
\$175,001 - \$275,000	21	18.58%	2	13	6	0
\$275,001 - \$375,000	16	14.16%	1	5	9	1
\$375,001 - \$500,000	30	26.55%	1	1	20	8
\$500,001 - \$700,000	12	10.62%	2	0	9	1
\$700,001 and up	12	10.62%	2	1	1	8
<b>Total New Listed Units</b>	<b>113</b>		<b>16</b>	<b>30</b>	<b>49</b>	<b>18</b>
<b>Total New Listed Volume</b>	<b>47,239,368</b>	<b>100%</b>	<b>8.72M</b>	<b>6.99M</b>	<b>19.01M</b>	<b>12.52M</b>
<b>Median New Listed Listing Price</b>	<b>\$364,900</b>		<b>\$190,000</b>	<b>\$201,950</b>	<b>\$398,900</b>	<b>\$534,900</b>

# November 2019



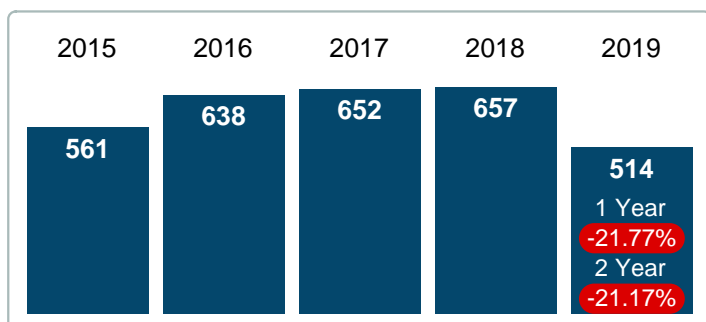
Area Delimited by School District Bixby - Sch Dist (4)



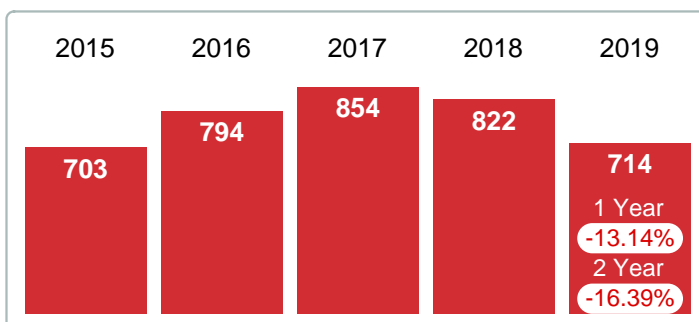
## ACTIVE INVENTORY

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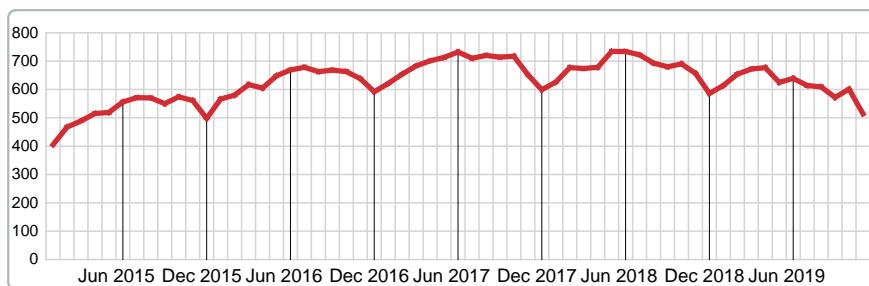
### END OF NOVEMBER



### ACTIVE DURING NOVEMBER



### 5 YEAR MARKET ACTIVITY TRENDS



### 3 MONTHS

5 year NOV AVG = 604

High Jun 2018 734 Low Jan 2015 405

Inventory this month at 514  
below the 5 yr NOV average of 604



### INVENTORY & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Inventory by Price Range		%	MDOM	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$100,000 and less	50	9.73%	82.0	32	6	11	1
\$100,001 - \$175,000	58	11.28%	83.5	40	16	2	0
\$175,001 - \$275,000	83	16.15%	69.0	21	36	24	2
\$275,001 - \$375,000	103	20.04%	59.0	13	28	50	12
\$375,001 - \$500,000	104	20.23%	44.0	8	12	59	25
\$500,001 - \$725,000	60	11.67%	81.0	6	2	35	17
\$725,001 and up	56	10.89%	74.5	16	0	15	25
Total Active Inventory by Units			514	136	100	196	82
Total Active Inventory by Volume			232,101,315	70.18M	25.56M	84.98M	51.38M
Median Active Inventory Listing Price			\$349,700	\$160,000	\$257,000	\$389,950	\$542,000

# November 2019



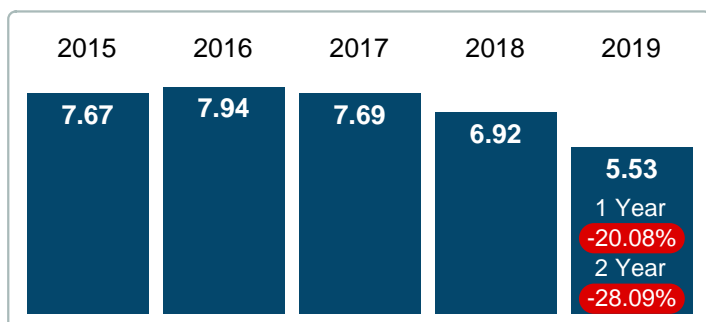
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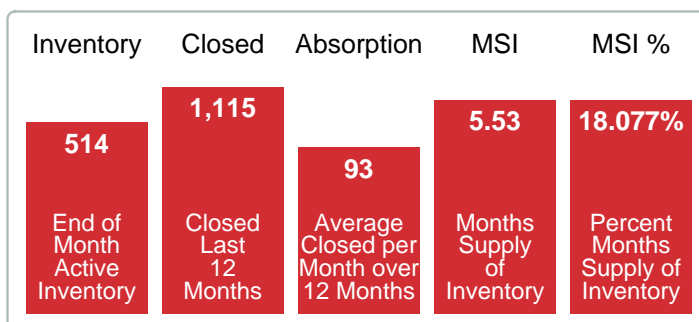
## MONTHS SUPPLY of INVENTORY (MSI)

Report produced on Dec 11, 2019 for MLS Technology Inc.

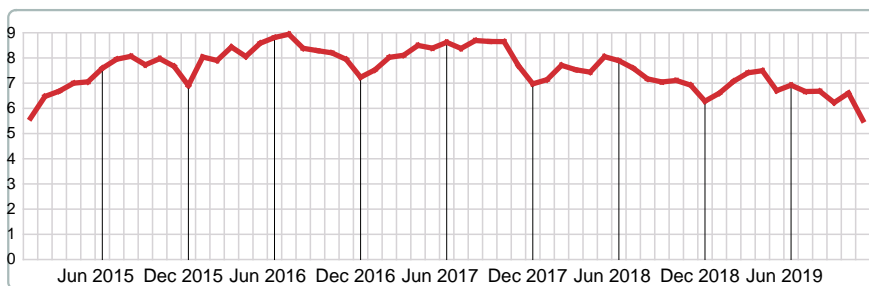
### MSI FOR NOVEMBER



### INDICATORS FOR NOVEMBER 2019

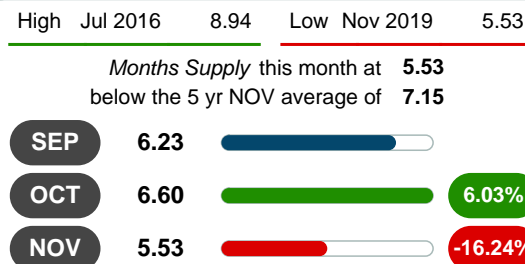


### 5 YEAR MARKET ACTIVITY TRENDS



### 3 MONTHS

5 year NOV AVG = 7.15



### MONTHS SUPPLY & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Active Inventory by Price Range and MSI		%	MSI	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$100,000 and less	50	9.73%	3.19	5.12	0.95	4.71	1.33
\$100,001 - \$175,000	58	11.28%	5.19	43.64	1.71	2.18	0.00
\$175,001 - \$275,000	83	16.15%	3.03	14.00	2.57	2.07	6.00
\$275,001 - \$375,000	103	20.04%	4.63	52.00	4.54	3.68	5.33
\$375,001 - \$500,000	104	20.23%	9.75	48.00	8.00	8.63	11.54
\$500,001 - \$725,000	60	11.67%	13.85	18.00	24.00	18.26	8.50
\$725,001 and up	56	10.89%	39.53	64.00	0.00	22.50	60.00
Market Supply of Inventory (MSI)			5.53	14.07	2.67	5.18	10.36
Total Active Inventory by Units		100%	514	136	100	196	82



# November 2019

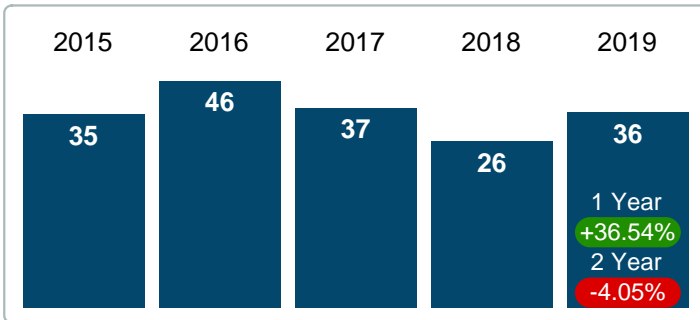
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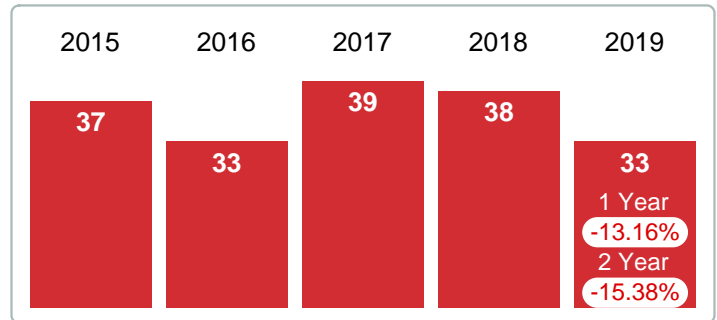
## MEDIAN DAYS ON MARKET TO SALE

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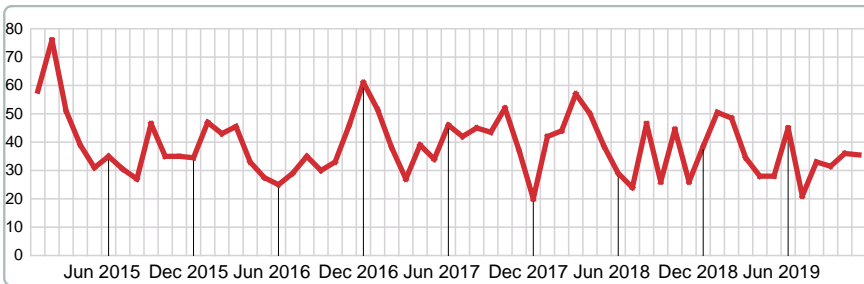
### NOVEMBER



### YEAR TO DATE (YTD)



### 5 YEAR MARKET ACTIVITY TRENDS



### 3 MONTHS

5 year NOV AVG = 36

High Feb 2015 76 Low Dec 2017 20

Median Days on Market to Sale this month at 36 equal to 5 yr NOV average of 36



### MEDIAN DOM OF CLOSED SALES & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Median Days on Market to Sale by Price Range	%	MDOM	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$25,000 and less	9.30%	29	0	29	34	0
\$25,001 - \$150,000	12.79%	18	6	36	0	0
\$150,001 - \$200,000	9.30%	31	0	38	22	0
\$200,001 - \$325,000	27.91%	37	39	41	36	0
\$325,001 - \$375,000	17.44%	21	1	1	70	0
\$375,001 - \$400,000	11.63%	27	0	0	27	41
\$400,001 and up	11.63%	81	0	0	61	84
Median Closed DOM		36	13	33	36	76
Total Closed Units	100%	86	10	31	39	6
Total Closed Volume		22,782,099	1.37M	5.65M	13.06M	2.70M



# November 2019

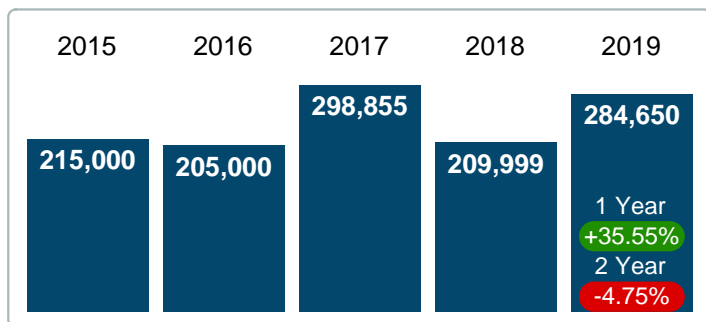
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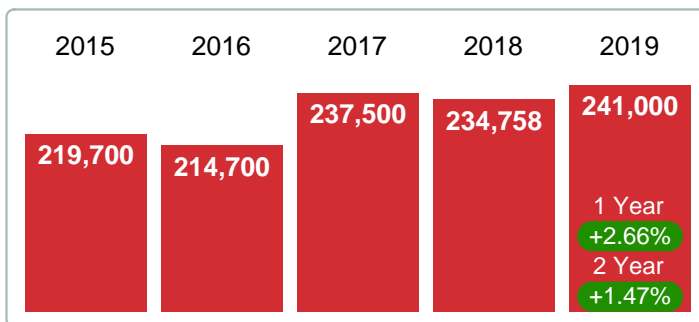
## MEDIAN LIST PRICE AT CLOSING

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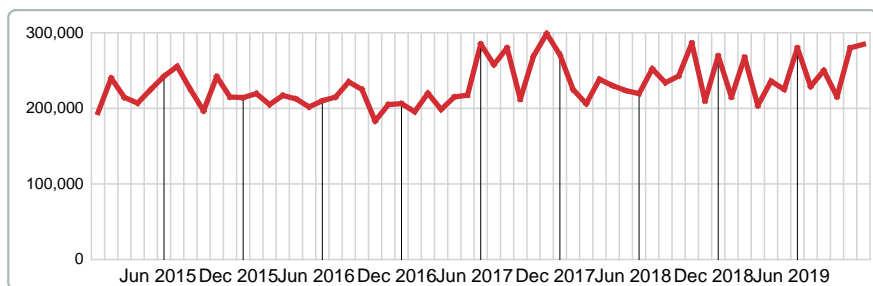
### NOVEMBER



### YEAR TO DATE (YTD)



### 5 YEAR MARKET ACTIVITY TRENDS



### 3 MONTHS

5 year NOV AVG = 242,701

High Nov 2017 298,855    Low Oct 2016 183,230

Median List Price at Closing this month at **284,650**  
above the 5 yr NOV average of **242,701**

SEP	215,450	
OCT	279,975	29.95%
NOV	284,650	1.67%

### MEDIAN LIST PRICE OF CLOSED SALES & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Median List Price at Closing by Price Range		%	MLPrice	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$25,000 and less	8	9.30%	1,323	0	1,270	1,410	0
\$25,001 - \$150,000	11	12.79%	85,000	55,000	122,500	0	0
\$150,001 - \$200,000	8	9.30%	179,450	0	169,900	195,000	0
\$200,001 - \$325,000	22	25.58%	252,500	250,000	242,450	260,000	0
\$325,001 - \$375,000	17	19.77%	359,900	366,440	340,026	359,900	0
\$375,001 - \$400,000	10	11.63%	389,900	0	0	389,900	384,950
\$400,001 and up	10	11.63%	460,000	0	0	453,583	512,500
Median List Price			284,650	75,000	199,900	359,900	444,950
Total Closed Units		100%	284,650	10	31	39	6
Total Closed Volume			23,256,038	1.50M	5.72M	13.21M	2.82M



# November 2019



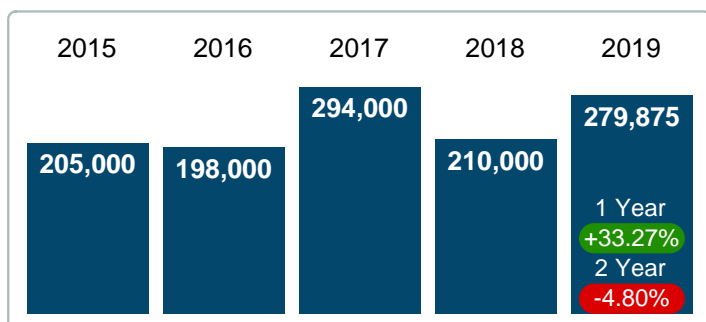
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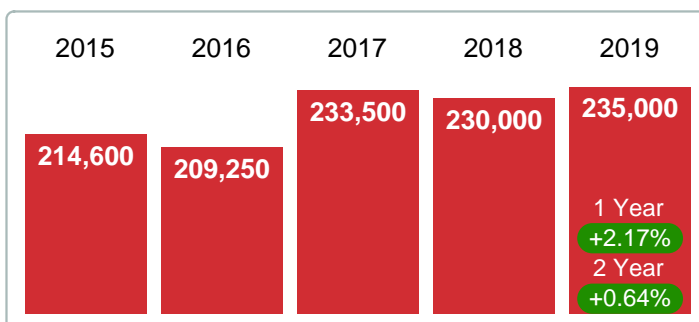
## MEDIAN SOLD PRICE AT CLOSING

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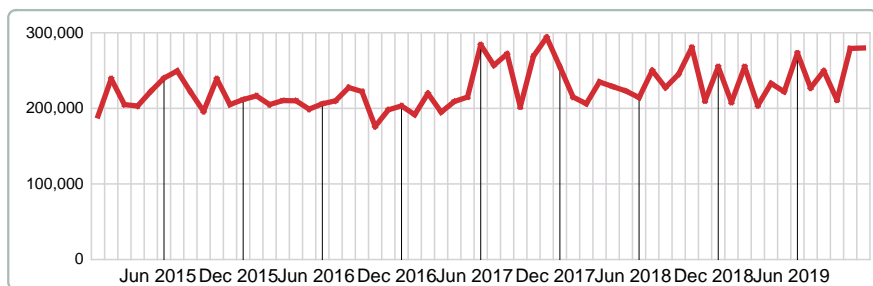
### NOVEMBER



### YEAR TO DATE (YTD)



### 5 YEAR MARKET ACTIVITY TRENDS



### 3 MONTHS

5 year NOV AVG = 237,375

High Nov 2017 294,000    Low Oct 2016 176,041

Median Sold Price at Closing this month at **279,875**  
above the 5 yr NOV average of **237,375**

SEP	211,050	<div style="width: 40%;"></div>
OCT	279,250	<div style="width: 80%;"></div> 32.31%
NOV	279,875	<div style="width: 80%;"></div> 0.22%

### MEDIAN SOLD PRICE OF CLOSED SALES & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Median Sold Price at Closing by Price Range		%	M Sale	1-2 Beds	3 Beds	4 Beds	5+ Beds
\$25,000 and less	8	9.30%	1,340	0	1,288	1,410	0
\$25,001 - \$150,000	11	12.79%	84,000	49,750	120,000	0	0
\$150,001 - \$200,000	8	9.30%	178,000	0	167,000	199,900	0
\$200,001 - \$325,000	24	27.91%	250,000	235,000	253,869	270,000	0
\$325,001 - \$375,000	15	17.44%	360,000	373,403	341,000	360,000	0
\$375,001 - \$400,000	10	11.63%	380,250	0	0	380,250	384,500
\$400,001 and up	10	11.63%	449,500	0	0	445,500	483,000
Median Sold Price			279,875	74,500	192,000	360,000	434,000
Total Closed Units		100%	279,875	10	31	39	6
Total Closed Volume			22,782,099	1.37M	5.65M	13.06M	2.70M

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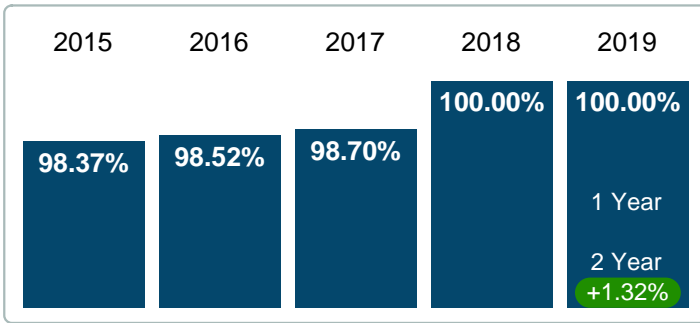
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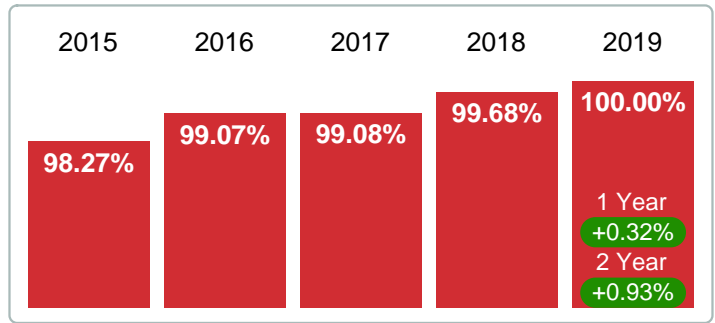
## MEDIAN PERCENT OF SELLING PRICE TO LISTING PRICE

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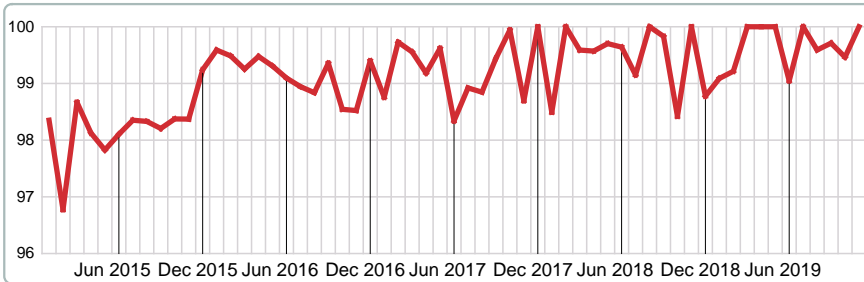
### NOVEMBER



### YEAR TO DATE (YTD)



### 5 YEAR MARKET ACTIVITY TRENDS

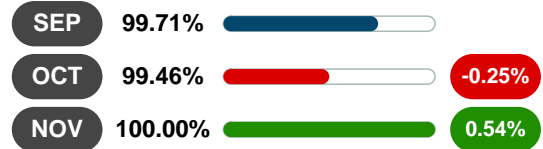


### 3 MONTHS

5 year NOV AVG = 99.12%

High Nov 2019 100.00% Low Feb 2015 96.77%

Median Sold/List Ratio this month at **100.00%**  
above the 5 yr NOV average of **99.12%**



### MEDIAN SOLD/LIST RATIO OF CLOSED SALES & BEDROOMS DISTRIBUTION BY PRICE

Distribution of Sold/List Ratio by Price Range		%	M S/L%	1-2 Beds	3 Beds	4 Beds	5+ Beds	
\$25,000 and less	8	9.30%	100.00%	0.00%	100.00%	100.00%	0.00%	
\$25,001 - \$150,000	11	12.79%	98.82%	88.54%	100.84%	0.00%	0.00%	
\$150,001 - \$200,000	8	9.30%	100.00%	0.00%	100.00%	100.00%	0.00%	
\$200,001 - \$325,000	24	27.91%	98.31%	82.00%	98.31%	98.48%	0.00%	
\$325,001 - \$375,000	15	17.44%	100.00%	101.90%	100.00%	99.47%	0.00%	
\$375,001 - \$400,000	10	11.63%	98.83%	0.00%	0.00%	97.66%	99.88%	
\$400,001 and up	10	11.63%	96.23%	0.00%	0.00%	98.26%	94.40%	
Median Sold/List Ratio		100.00%		90.41%	100.00%	100.00%	97.52%	
Total Closed Units		86	100%	100.00%	10	31	39	6
Total Closed Volume		22,782,099			1.37M	5.65M	13.06M	2.70M

# November 2019



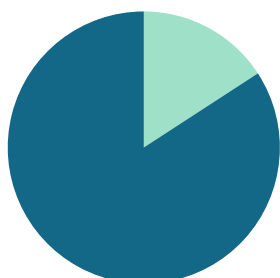
Area Delimited by School District Bixby - Sch Dist (4)



## MARKET SUMMARY

Report produced on Dec 11, 2019 for MLS Technology Inc.

### INVENTORY

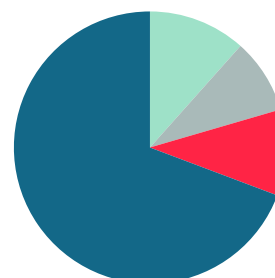


**Inventory**  
 New Listings  
**113 = 15.83%**  
 Start Inventory  
**601**  
 Total Inventory Units  
**714**  
 Volume  
**\$303,092,815**

### Market Activity

Closed Sales  
**86 = 11.59%**  
 Pending Sales  
**66 = 8.89%**  
 Other Off Market  
**76 = 10.24%**  
 Active Inventory  
**514 = 69.27%**

### MARKET ACTIVITY



Compared Metrics	November			Year to Date		
	2018	2019	+/-%	2018	2019	+/-%
Closed Sales	63	86	36.51%	1,035	1,031	-0.39%
Pending Sales	56	66	17.86%	997	996	-0.10%
New Listings	132	113	-14.39%	2,020	1,884	-6.73%
Median List Price	209,999	284,650	35.55%	234,758	241,000	2.66%
Median Sale Price	210,000	279,875	33.27%	230,000	235,000	2.17%
Median Percent of Selling Price to List Price	100.00%	100.00%	0.00%	99.68%	100.00%	0.32%
Median Days on Market to Sale	26.00	35.50	36.54%	38.00	33.00	-13.16%
Monthly Inventory	657	514	-21.77%	657	514	-21.77%
Months Supply of Inventory	6.92	5.53	-20.08%	6.92	5.53	-20.08%

**Absorption:** Last 12 months, an Average of **93** Sales/Month

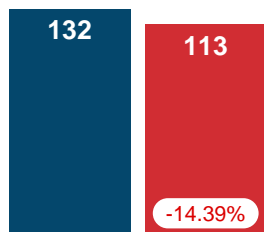
**Inventory** on November 30, 2019 = **514**

**2018** **2019**

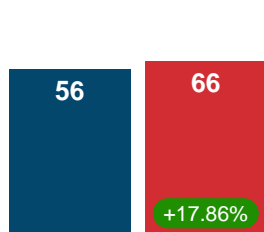
### NOVEMBER MARKET

### MEDIAN PRICES

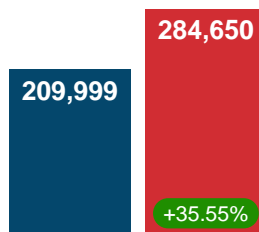
#### New Listings



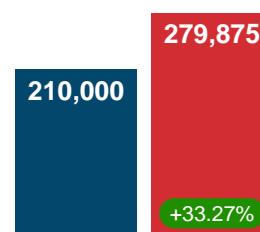
#### Pending Listings



#### List Price



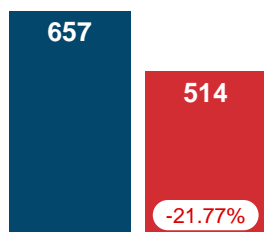
#### Sale Price



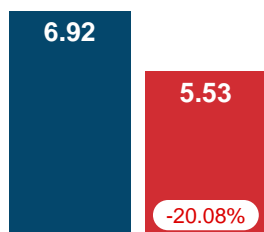
### INVENTORY

### MEDIAN SOLD/LIST RATIO & DOM

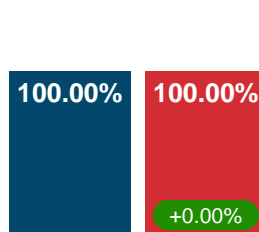
#### Active Inventory



#### Monthly Supply of Inventory



#### Sale/List Ratio



#### Days on Market

